

## PROPERTY LOCATION

No	Alt No	Direction/Street/City
10		TEEL ST PL, ARLINGTON

## OWNERSHIP

OWNERSHIP			Unit #:
Owner 1:	CERVANTES MICHAEL & MARIA		
Owner 2:			
Owner 3:			
Street 1:	10 TEEL ST PL		
Street 2:			
Twn/City:	ARLINGTON		
St/Prov:	MA	Cntry	Own Occ: Y
Postal:	02474	Type:	

## PREVIOUS OWNER

Owner 1:	MAC PHERSON HELEN -		
Owner 2:	-		
Street 1:	10 TEEL ST PL		
Twn/City:	ARLINGTON		
St/Prov:	MA	Cntry	
Postal:	02474		

## NARRATIVE DESCRIPTION

This parcel contains .098 Sq. Ft. of land mainly classified as One Family with a Tudor Building built about 1910, having primarily Vinyl Exterior and 1893 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 1 HalfBath, 6 Rooms, and 3 Bdrms.

## OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

## PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R1	SINGLE FA	100	water		
o				Sewer		
n				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo	1	Level
s				Street		
t				Gas:		

### LAND SECTION (First 7 lines only)

[illegible]

Total AC/HA:	0.09757	Total SF/SM:	4250	Parcel LUC:	101	One Family	Prime NB Desc	ARLINGTON	Total:	438,002	Spl Credit	Total:	438,000
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Disclaimer: This Information is believed to be correct but is subject to change and is not warranted.

Database: AssessPro - ArchiveProArling

apro

2023

## IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
101	4250.000	296,500	6,000	438,000	740,500
Total Card	0.098	296,500	6,000	438,000	740,500
Total Parcel	0.098	296,500	6,000	438,000	740,500
Source: Market Adj Cost		Total Value per SQ unit /Card:		391.15	/Parcel: 391.15

## PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	101	FV	296,500	6000	4,250.	438,000	740,500		Year end	12/23/2021
2021	101	FV	279,100	6000	4,250.	438,000	723,100		Year End Roll	12/10/2020
2020	101	FV	279,100	6000	4,250.	438,000	723,100	723,100	Year End Roll	12/18/2019
2019	101	FV	262,300	6000	4,250.	465,400	733,700	733,700	Year End Roll	1/3/2019
2018	101	FV	262,300	6000	4,250.	339,500	607,800	607,800	Year End Roll	12/20/2017
2017	101	FV	262,300	6000	4,250.	295,700	564,000	564,000	Year End Roll	1/3/2017
2016	101	FV	262,300	6000	4,250.	251,900	520,200	520,200	Year End	1/4/2016
2015	101	FV	232,100	6000	4,250.	246,400	484,500	484,500	Year End Roll	12/11/2014

## SALES INFORMATION

[illegible]

## BUILDING PERMITS

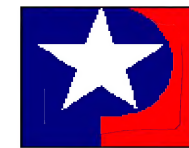
[illegible]

### ACTIVITY INFORMATION

Date	Result	By	Name
4/5/2017	SQ Returned	MM	Mary M
4/28/2009	Measured	163	PATRIOT
3/8/2005	External Ins	BR	B Rossignol
12/11/1999	Inspected	264	PATRIOT
9/29/1999	Mailer Sent		
9/29/1999	Measured	256	PATRIOT
10/1/1981		MS	

**Sign:** \_\_\_\_\_

VERIFICATION OF VISIT NOT DATA      \_\_\_\_/\_\_\_\_/\_\_\_\_



**Patriot**  
Properties Inc.

**USER DEFINED**

	Prior Id # 1:	15771
	Prior Id # 2:	
	Prior Id # 3:	
	Prior Id # 1:	
	Prior Id # 2:	
	Prior Id # 3:	
	Prior Id # 1:	
5	Prior Id # 2:	
	Prior Id # 3:	
	ASR Map:	
	Fact Dist:	
	Reval Dist:	
	Year:	
	LandReason:	
	BldReason:	
	CivilDistrict:	
	Ratio:	

## PRINT

Date	Time
12/29/21	20:51:30

**LAST REV**

Date	Time
04/05/17	13:30:53
mmcmakin	
1963	

